

## V. Land Use & Building Guidelines

Physical design can influence communities in real ways. This chapter outlines a vision for land uses and building construction in this SNI area, to be applied wherever opportunities arise. As outlined in *Chapter III - Guiding Principles and Organizing Concepts*, and in the issues identified in the *Chapter VI - Matrix of Actions*, Five Wounds/Brookwood Terrace (FWBT) community members desire attractive, welcoming environments that reflect and enhance their strong sense of community. For circumstances not addressed in this chapter, the City's existing Design Guidelines should be considered.

### 1. GOALS

#### Walkability

The safety, comfort and interest of pedestrians relates to the way that buildings face streets and public open spaces with entrances, windows and active uses. Buildings should be set forward to provide a presence on the street, and frame the street spatially. While setbacks and uses may vary, these street-oriented characteristics are important for making residential streets more livable and for making shopping streets more vibrant.

#### Safety

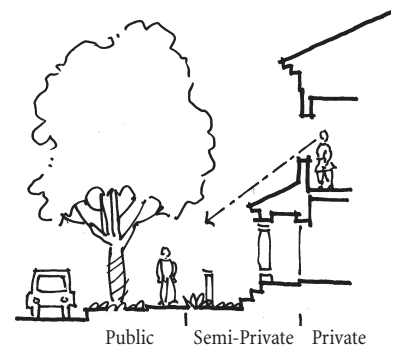
Physical design can influence safety in real ways. Watchful eyes, or even the perception that a neighbor may be watching, is an effective deterrent to crime – and is also an important ingredient for making places feel safe and inviting. Building designs can encourage or limit a resident's or employee's ability to monitor streets, parking, and open spaces. When spaces for private and public use are clearly delimited, neighbors can also identify intruders more readily. Windows, building entries, and "semi-private" spaces, like porches and patios, are essential for informal surveillance, and contribute to a "sense of community presence" on streets.

#### Scale

New development should have uses and a scale that make the area more inviting, by reinvigorating its shopping streets, enhancing housing and employment opportunities, and improving or replacing auto-oriented and industrial uses that pose a nuisance to residents and impose visual blight. Taller buildings that are built to the sidewalk will help transform East Santa Clara and Alum Rock into



*Attractive and welcoming environments are essential to neighborhood livability.*



#### Eyes and ears on the street.

*Street-facing architecture—eyes and ears on the street— promotes livability and security.*



**Five Wounds Church.**

*Many traditions can be found within the SNI Area, as well as a number of culturally and historically significant buildings.*

“boulevards,” and will help make other shopping streets more accessible on foot. In addition, new development should be respectful of the residential character of existing neighborhoods.

**Character**

Five Wounds/Brookwood Terrace contains a unique set of architectural traditions, many features of which are a response to its climate and ethnic heritage. New projects should emulate these traditions. Mediterranean styles should be emphasized near Five Wounds Church, both in the Spanish and Emanueline (Portuguese Baroque) traditions. Art Deco and American “Main Street” styles are appropriate in Mixed-Use areas, while in residential areas Craftsman style is also prevalent.

**ORGANIZATION OF THIS CHAPTER**

This Chapter includes:

- Recommended Land Uses;
- Guidelines for Mixed-Use areas (concentrated along major corridors, neighborhood shopping streets, and the San José Steel site);
- Guidelines for Residential areas (through additions, renovations, and new construction on poorly utilized land); and,
- Guidelines for Architectural Guidelines for all uses (addressing climate, style and quality).

When considering new development in this area, it is also important to refer to the documents listed below for further building guidelines and regulations:

- San José 2020 General Plan
- City of San José Zoning Ordinance
- Residential and Commercial Design Guidelines
- Other relevant City Council policies

## 2. RECOMMENDED LAND USES

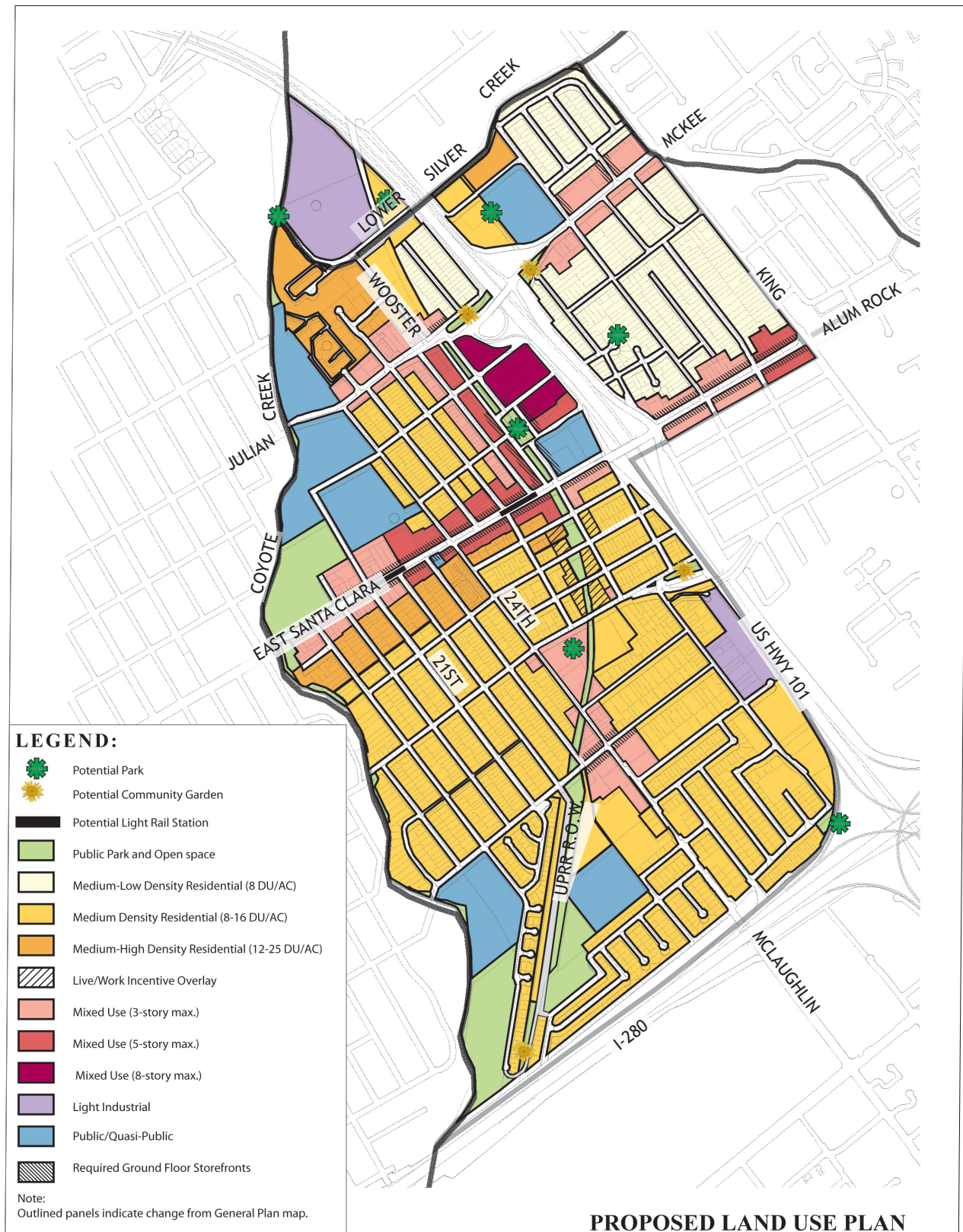
A *Proposed Land Use Map* was developed after extensive discussion within the Five Wounds-Brookwood Terrace community. Within the Proposed Land Use Map (see following page) a variety of residential, mixed-use, commercial, and civic uses are designated. Different land use designations denote different policies to guide the character of a given area. In this document, the Building Guidelines that follow this section are organized to distinguish between features that are desired for Mixed-Use designations versus Residential designations.

In most instances, the *Proposed Land Use Map* is consistent with the San Jose's General Plan. However, the community has identified areas where land-use designations and policies should be augmented or amended. (Areas where changes are recommended are outlined in a heavier line on the *Proposed Land Use Map*.)

Many areas of concern are places where existing commercial designations may not adequately support the creation of mixed-use boulevards or neighborhood shopping streets. Specific areas for mixed-use development include the Santa Clara – Alum Rock and Julian – McKee corridors, the William – 24<sup>th</sup>/McLaughlin neighborhood center, and the San Jose Steel site. In these locations, policies should encourage street-facing architecture, ground-floor storefronts, upper-story residential or offices, and controls on height and bulk that are consistent with abutting neighborhoods. A “*Mixed-Use*” designation is recommended for these areas, with height and densities varying to optimize transit use, while being a “good neighbor” to existing residences and historic buildings.

Change is also recommended where aging industrial uses and the abandoned Railroad right-of-way should give way to residential and public uses that are more compatible with the surrounding neighborhoods. Consequently, the Proposed Land Use Map recommends “*Medium Density Residential*” designations for many locations where light industrial uses presently abut the Railroad and for wider portions of the Railroad right-of-way. The Railroad right-of-way should also accommodate a new trail and pocket parks.

Finally, residential designations have been “fine-tuned” just south of East Santa Clara to keep new development in scale with existing residences. A small zone for “*Live-Work Incentives*” highlights a special opportunity to combine residential and commercial uses in proximity to East Santa Clara businesses and the “Rail-to-Trail” open space, with some existing commercial buildings lending themselves to adaptive re-use. The generalized location of potential parks has also been shown.





Areas most suitable for Mixed-Use development are concentrated along major corridors and neighborhood shopping streets and at the San José Steel site. The table below identifies recommended uses and minimum and maximum height limits for development, including Mixed-Use, in the study area.

### Community Land Use Preferences.

**Key:** • *supported (with special conditions footnoted)*, -- *not supported*.

Use	Mixed-Use 4-8 story max.	Mixed-Use 3-5 story max.	Mixed-Use 2-3 story max.
Arcades, including video, pinball, & billiards [1]	•	•	•
Banks & Financial Services [2]	•	•	•
Churches, Mosques, Synagogues & Temples	•	•	•
Cinemas & Theaters <30,000 sf <60,000 sf	• •	• --	-- --
Community Services, including day care, social services, education, & non-profit or philanthropic organizations	•	•	•
Grocery Stores	•	•	•
Gas Stations	--	--	--
Health Clubs	•	•	•
Hotel/Inn <20,000 sf >20,000 sf	• •	• --	-- --
Housing [3]	•	•	•
Indoor Recreation, including ice rinks, roller rinks, and bowling alley	•	•	--
Night Clubs & Dance Halls [1]	•	•	--
Offices (Major Tenants), including corporate campuses [1,3]	•	•	•
Offices (Smaller Tenants), including medical, engineering, legal, counseling, real estate, and insurance offices [3]	•	•	•
Personal Services, including photographic services, barber & beauty shops, dry cleaning, shoe repair, and laundromats [4]	•	•	•
Restaurants & Cafes [2]	•	•	•
Retailers (Major Tenants at and over 40,000 sf), including supermarkets, hardware, drug stores, furnishings, and department stores [2,5]	•	--	--
Retailers (Smaller Tenants under 40,000 sf)	•	•	•

[1] Structure must be at least 50 feet from area with residential zoning; restrictions on hours, noise, and lighting may be imposed.

[2] Drive-through lanes may not occur between building front and street.

[3] See Land Use Map for locations where “storefronts” are required (e.g. ground-floor retail, restaurant/café, personal service, or community service space).

[4] Laundromats must provide ample seating and be well maintained.

[5] Along the East Santa Clara-Alum Rock corridor, large retailers may need to occupy multiple floors to meet frequent storefront and entry requirements (refer to the Required Storefronts section, Chapter V-9).

### 3. GUIDELINES FOR MIXED-USE BUILDINGS

#### Relationship among Buildings, Streets and Parking

*a. Orientation & Entry.* The front elevation and primary entries of all new buildings in Mixed-Use areas should face a public street, or a publicly accessible courtyard or walkway. A parking lot entry is not an appropriate alternative to a primary streetfront entry. Commercial entries should be accompanied by an awning, arcade, or similar overhang. Residential entries should be accompanied by an exterior porch or overhang, or an interior vestibule, (Multiple units may share a primary entry) and should occur at intervals of no more than 60 feet along street fronts without street level retail uses.

*b. Transparency along Major Streets.* Facades facing major streets should have windows and/or entrances along at least 50% of the length of its ground floor, and windows along 33% of the length of upper stories. Mirrored glass, glass block, or other obscured windows may not be used to meet this requirement. Display windows with cases with a depth of at least 2 feet may be used to meet the ground-floor transparency requirement.



#### Entries.

*Commercial and residential entries should be clearly expressed and accompanied by sheltering features.*



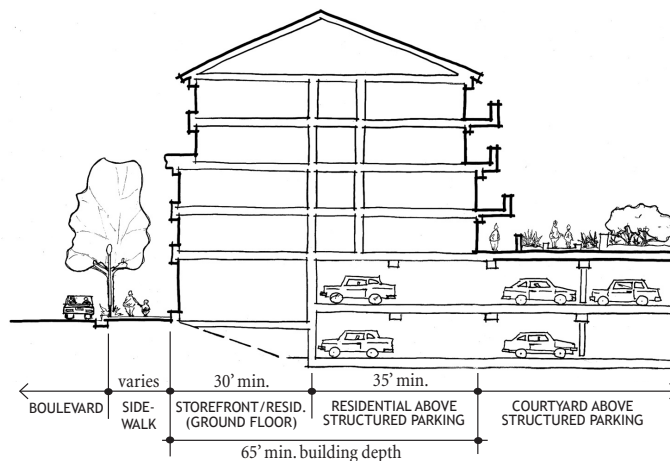
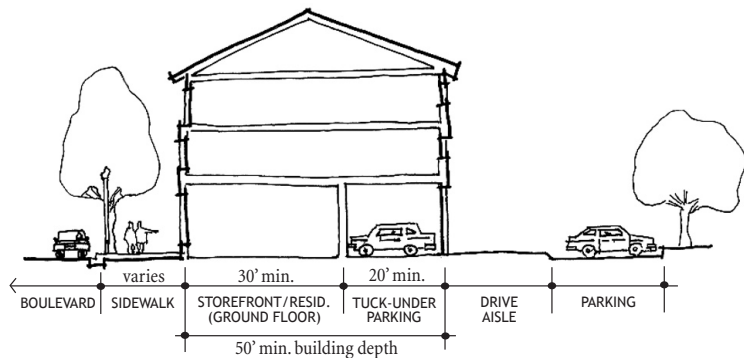
Acceptable.



Unacceptable.

#### Mixed-Use Buildings.

*Mixed-use buildings have storefronts on the ground-floor with residential or office uses above. Covered garages served by rear parking lanes represent an affordable strategy for accomplishing moderate densities and maintaining active uses at the street. At higher densities, structured parking may be required and should be set behind active uses or below buildings. To optimize transit-oriented development in the area, a strategy of setting housing and a landscaped courtyard above a structured parking “podium” is recommended for larger parcels.*



*c. Transparency along Local Streets.* Facades facing local streets should have windows and/or entrances along at least 33% of the length of all stories. Mirrored glass, glass block, or obscured windows may not be used to meet this requirement. Windows should be incorporated into building entries and/or entry areas.

*d. Minimum Street-Facing Building Frontage.* New buildings in Mixed-Use areas should occupy not less than:

- seventy-five percent (75%) of a parcel's frontage, when facing a major (city-serving) street; and,
- fifty percent (50%) of a parcel's frontage when facing a local street.

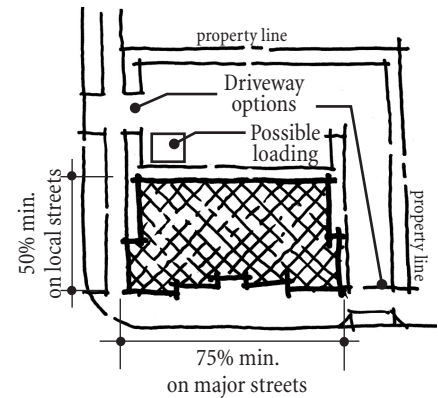
Required frontage may be reduced to provide a single driveway, where access to on-site parking cannot be otherwise provided. Landscaped plazas and paseos may be used to meet up to 15% of a parcel's frontage requirement.

*e. Parking Lots.* Parking lots should not comprise more than 25% of a property's frontage along major streets, and 50% of a property's frontage along local streets. Parking lots should be set back at least 10 feet from any street-facing property line; this setback should be landscaped, and include at least one tree for every 30 feet of street frontage, and a concrete wall of approximately 3 feet in height should be placed within the required landscape frontage. In addition, one deciduous tree should be planted within and at the edge of surface parking lots for every four parking stalls.

*f. Parking Garages.* Parking garages should not be placed within 30 feet of a public street or open space, unless:

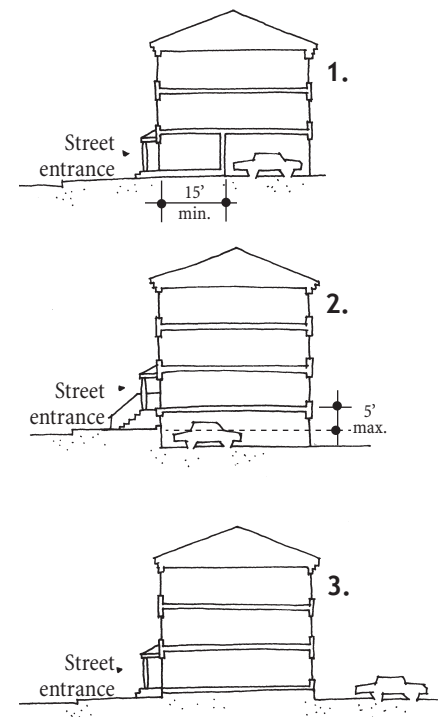
- habitable ground-floor space is provided (e.g. retail, office or residential) along public facing edge; or
- the garage is depressed such that first-floor living space is not more than 5 feet above the finished grade.

Windows and openings of parking structures should emulate the proportion and detail of nearby buildings. Garage entries into buildings should not be placed in prominent locations nor should they occupy more than 20 percent of a buildings street-front footage.



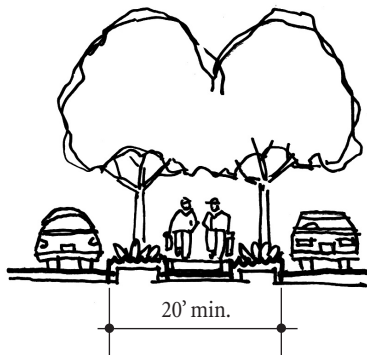
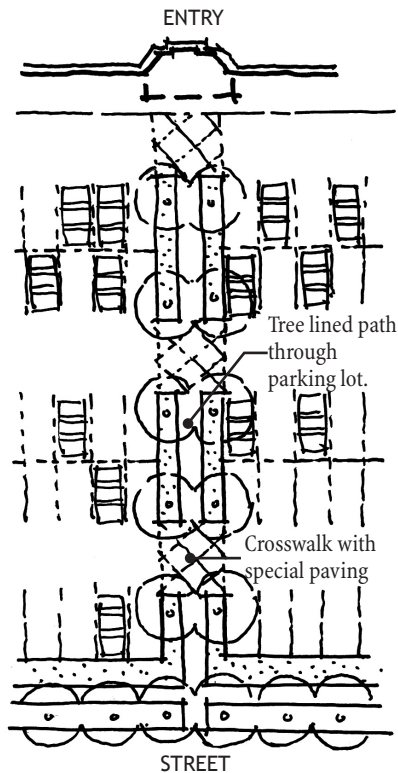
#### **Street-Facing Building Frontage.**

*Pedestrian safety, visual interest, and accessibility is enhanced by maintaining windows and entries at the street.*



#### **Acceptable Garage Locations.**

1. Parking at rear of building behind an occupiable space of minimum 15' depth.
2. Parking depressed such that occupied space above it is no more than 5' above finished grade at street.
3. Parking behind building in surface parking lot or in a structured parking garage.



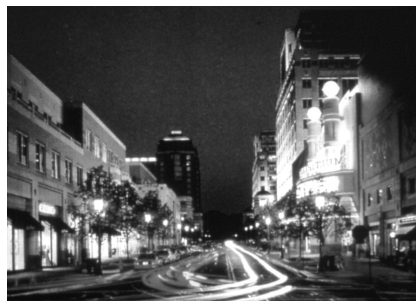
**Non-Street Facing Entrances.**

*Where building entrances cannot meet the street, pedestrian access should be maintained with a landscaped walkway.*

g. *Fencing.* Fences should not exceed a height of 36 inches in front setbacks. Cyclone chain link, barbed wire, razor wire, electric, glass, and smooth concrete masonry units (c.m.u.) should not be used.

h. *Non-Street-Facing Entrances.* The primary entry of a building without a street-facing facade should face onto a shared open space or publicly accessible walkway. The walkway or open space should be landscaped, lighted, and connect directly to an adjacent street. (This provision might be applied to large retail tenants, “courtyard apartments”, large parcels, or re-use of existing buildings.)

i. *Lighting.* Architectural lighting that is attached to buildings and directed toward pedestrian paths is encouraged. Street lighting should be frequently spaced, and directed toward pedestrian paths and away from upper-story windows. Main building entrances, passenger loading areas, and service areas should be well lighted. In addition, lighting is strongly encouraged where private paths meet streets.



**Street Lighting**

*Street and storefront lighting at a pedestrian scale contribute to a safe, 24 hour public space.*



### Required Storefronts

Where indicated as “Required Storefronts” on the *Land Use Map* (see page V-4), active ground-floor uses must face the street in new development and major renovations. Storefronts should be at least 40 feet deep. Acceptable ground-floor uses include retail shops, personal service shops, restaurants, cafes, entertainment establishments, small professional offices, day care, health clinics, community services, and similar uses. Where storefronts are required, building entrances should occur at least every 60 feet, and storefronts should not be more than one foot above or below the adjacent sidewalk. To encourage frequent entries and varied storefronts, commercial tenants that occupy over 10,000 square feet (such as grocery stores, hotels and theaters) are encouraged to use space that is away from the street (such as behind smaller shops) or on upper floors.



### Required Storefronts.

*“Storefronts” with frequent entries and active uses are required along shopping streets to maintain vitality and pedestrian continuity.*

### Height and Mass

Mixed-Use designations indicate maximum heights in stories. An equivalent height in feet is shown here. Minimum heights maintain a sense of urban enclosure around parks, plazas, and major streets. It should be noted it may be difficult to achieve heights over 3 stories on smaller parcels, thus suggesting a variety of future building heights along East Santa Clara and Alum Rock.

Land Use Desig.	Maximum Height [1]	Minimum Height [2]
Mixed-Use: 8-stories	120 feet	60 feet
Mixed-Use: 5-stories	75 feet	40 feet (3 stories)
Mixed-Use: 3-stories	50 feet	30 feet (2 stories)

[1] Special architectural features such as towers, cupolas, ornamental cornices, and ornamental roof features may exceed the height limit by 15 feet, provided that they comprise no more than one quarter of the length and width of a building.

[2] Minimum height requirements do not apply to local streets.

### Mixed-Use Setbacks and Separations

The table below recommends minimum setbacks for mixed-use buildings adjacent to other mixed-use properties, streets and other public open space. Where projects abut a property with a residential designation, a deeper side and/or rear setback may be required (as per the City's Residential Design Guidelines).

No maximum setback is recommended for side and rear relationships, but building fronts should not be set back more than 10 feet from streetside property lines -- especially where storefronts are present.

Minimum Setback [1] (from property line)	Front	Side	Rear
<b>First 3 stories: 0' to 50' high</b> (applies to all Mixed-Use designations)	0'	0'	see City Design Guidelines
<b>Next 5 stories: 51' to 120' [2]</b> (applies only to Mixed-Use: 5-story and Mixed-Use: 8-story designations)	10' [3]	20' [3]	30'

[1] Projections. Special architectural features, such as a bay window, decorative eave, and/or sheltering entry feature, may project up to 3 feet in public rights-of-way. Trellises, canopies and fabric awnings may project up to 8 feet into street rights-of-way. All projections into street rights-of-way must be more than 9 feet above finished grade and an encroachment permit, subject to City Council review, is required.

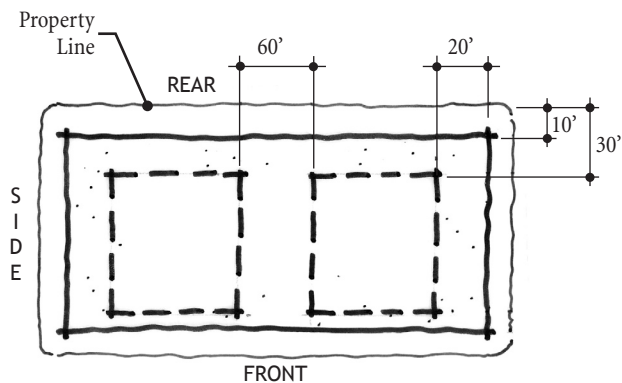
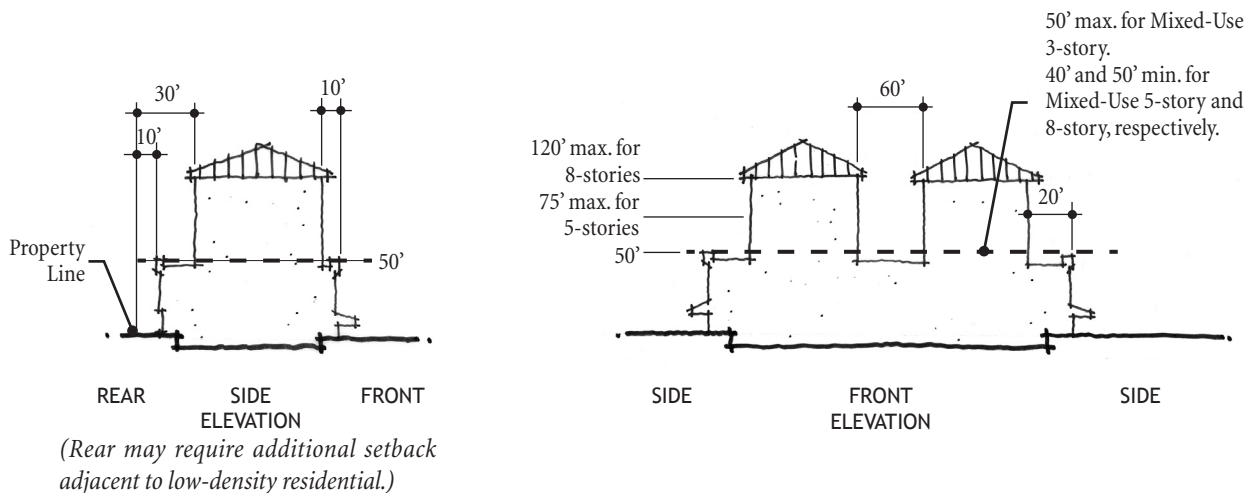
[2] Massing of Upper Stories. For floors over 50' from ground, "tower" floorplates should not exceed 20,000 square feet and/or a diagonal dimension of 200 feet. Multiple towers may be used, but should be separated by at least 60 feet.

[3] Corner Setbacks. Front and side setbacks may be reduced where a building corner marks the intersection of two streets.

### Intensity

A maximum intensity seeks to maintain a town-like scale and control potential impacts. A minimum intensity is called for to optimize use of lands proximate to transit and central San José. FAR or “floor area ratio” is the ratio of total floor area (all floors) over total site area. Parking garages and rooftop uses should not be included in the calculation of floor area.

Land Use Desig.	Maximum FAR	Minimum FAR
Mixed-Use: 8-stories	3.00	1.00
Mixed-Use: 5-stories	2.00	0.75
Mixed-Use: 3-stories	1.50	0.50



### Building Heights and Setbacks.

These diagrams illustrate the height, setback and separation requirements for Mixed-Use buildings. For the three lowest stories, a continuous sense of enclosure and activity is encouraged along streets, in the fashion of a classic American “main street”. To provide additional light and views, the uppermost stories of taller buildings must step back and be organized into “towers” of limited mass.

#### 4. GUIDELINES FOR RESIDENTIAL DEVELOPMENT

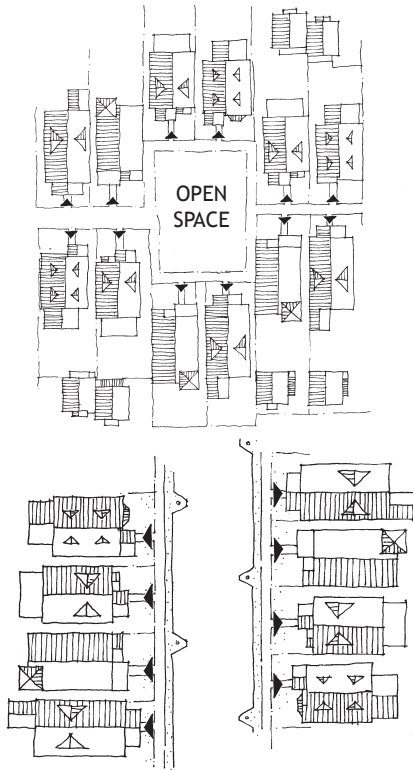
##### Relationships among Buildings, Streets and Parking

*a. Orientation & Entry.* The front elevation and primary entries of both single-family and multi-family residential buildings should face a street, where possible. Where residences do not have an address that faces a street, access should be through a shared open space that connects to an abutting street and the surrounding neighborhood (e.g. through a small park, plaza, courtyard, or paseo). These shared open spaces should be visible and accessible from a street, may be publicly or privately owned, and should be well landscaped and conform with requirements for porches and/or vestibule (see section *b* below). Where units are across the street from a public park, the front elevation should face the public park. Rear yards should not occur along streets, or adjacent to public parks or plazas, and should be avoided along trails.

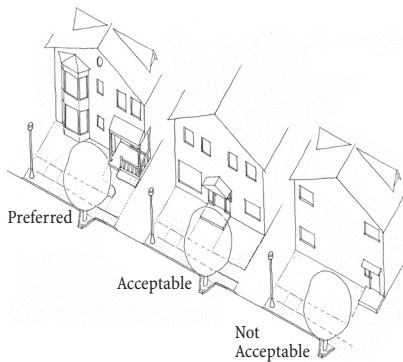
*b. Entry Porches and Vestibules.* Every primary entry should be accompanied by a porch or entry vestibule. (Multiple units may share a primary entry.) Entry porches and vestibules should have a minimum dimension of at least 6 feet by 8 feet clear. Unenclosed porches may project 6 feet into any street-facing setback, with stairs permitted to project an additional 2 feet.

*c. Transparency.* Facades facing the street should have windows and/or entrances along at least 33% of the length of all stories. Clerestory windows, mirrored glass, glass block, or other obscured windows may not be used to meet this requirement. Windows should be incorporated within building entries and/or entry areas.

*d. Parking Lots.* Parking lots should not comprise more than 25% of a property's street-facing frontage. Along street-facing property lines, parking lots should be set behind a landscaped setback of at least 5 feet. To screen views of parked cars, a concrete wall (about 3 feet in height) and trees (30' on-center) should be located within the landscaped setback.



**Orientation and Entry.**



**Transparency.**



e. *Garages for Multi-Family Projects.* Garages should avoided on any street-facing façade and should be placed at least 20 feet behind any streetside façades, unless:

- the garage is accessed from behind the building, and is separated from the street by inhabitable space; or
- the garage is depressed such that first-floor living space is not more than 5 feet above the finished grade.

Garage entries for multi-family buildings should not be placed in prominent locations, and should not occupy more than 20% of a street facing building façade.

Garage doors should be recessed at least 2 feet behind the adjacent façade, a bay window, or trellis.

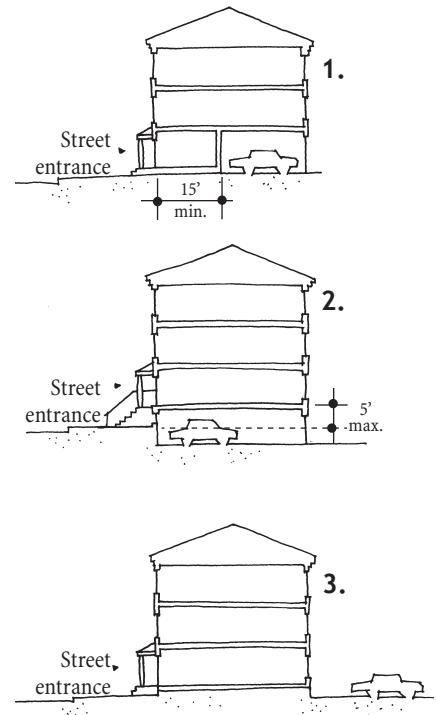
For garages for single-family projects, refer to the City's Design Guidelines.

f. *Driveways.* Driveway widths should not exceed 20 feet at a streetside sidewalk. Driveways should maintain the elevation of adjacent public sidewalks, and avoid the creation of steeply sloped or uneven walking surfaces.

g. *Fencing.* Fences should not exceed a height of 36 inches in front setbacks. Cyclone, chain link, barbed wire, razor wire, electric, glass, and smooth concrete masonry units (c.m.u.) are not permitted.

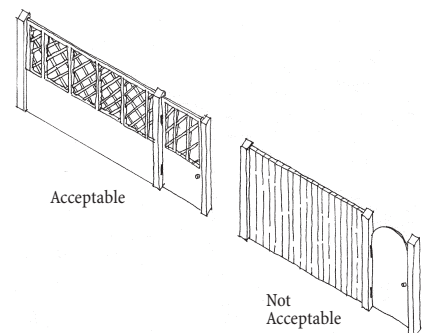
h. *Live-Work Incentives.* Residential development with occupational space on the ground floor are encouraged in areas designated for "live-work incentives" on the *Proposed Land Use Map*. The intention of this zone is to support small business creation and quasi-commercial activity proximate to regional transit and along the Railroad right-of-way, where industrial buildings may be available for re-use. Development with "live-work incentives" should be consistent with the provisions and character of its underlying residential designation (including home occupation regulations), but may be reduced to be consistent with surrounding commercial or industrial development if:

- a small shop, office, or studio space is provided;
- the shop, office, or studio has its own separate and publicly accessible



#### Acceptable Garage Locations.

1. Parking at rear of building behind an occupiable space of 15' depth.
2. Parking depressed such that occupied space is no more than 5' above finished grade at street.
3. Parking behind building in surface parking or in structure parking garage.



#### Fencing

entrance from a public street or trail, which is covered by a building recess, awning or canopy; and

- windows and entries comprise at least 50% of the length of ground-floor façade, and sill heights for the shop, office or studio are not more than 3 feet above grade.

### Building Setbacks

Setback Requirements (for all residential designations; varies from current Zoning as noted.)

Type of Structure	Front and Street -Facing Side [1]	Interior Side Minimum	Rear setback Minimum
Residential	Min. : 15 feet Max. : 25 feet	5 feet (detached structures); 0 feet (attached structures)	As per current zoning (minimum ranges from 15'-25')
Garage	Min. : see <i>Garages</i> , p.V-13) Max. : None	5 feet (detached structures); 0 feet (attached structures)	3 feet

*[1] Front & Street-Facing Side Projections. Porches may project up to 6 feet into required setbacks. Bay windows, fireboxes, and balconies may extend up to 3 feet into required setbacks, but not for a width of more than 8 feet. Bay windows and balconies must be separated by at least 12 feet.*

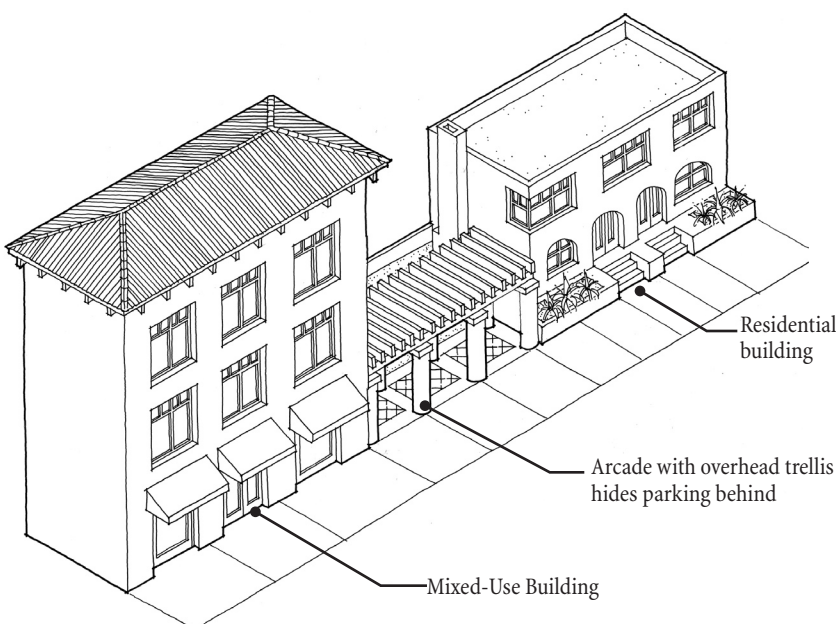
### Building Heights

- Maximum Building Heights.* See zoning for height requirements. Special exceptions should be considered for chimneys, vents, cupolas, ornamental parapets, and other minor projections.

## 5. BUILDING GUIDELINES FOR ALL USES

### Regional Character & Climatic Response

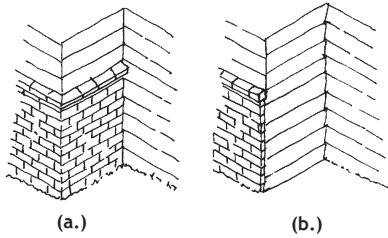
- a. Shading Devices.* Windows should be shaded with deep eaves, awnings, or other overhangs, or be deeply recessed.
- b. Rain Protection.* Arcades, trellises, loggias, and other covered outdoor features are encouraged.
- c. Spanish and Portuguese Influences.* Mediterranean building styles are prevalent in the study area, and should be emulated, especially along East Santa Clara – Alum Rock. Mediterranean buildings are typically stucco, and composed of simple rectangular forms or “massing.” Eaves, balconies, brackets, and trellises “add on” to the basic forms. Entries, windows and arcades often “subtract” from the basic forms, with deeply recessed openings. Deep eaves also characterize these styles.
- d. Craftsman Influences.* Craftsman style homes typically contain rustic textures for building materials. The massing of the building may be simple, but accompanied by deep eaves, exposed rafter tails, and ornate porches with supporting columns.
- e. Art Deco Influences.* Art Deco can be easily identified by its use of strong horizontal and vertical lines, often with a “streamline” appearance. Angular and stylized motives are often used in decorative panels and along cornices. Windows often wrap around corners, for dramatic effect.



#### Historic Traditions.

*New development should connect with the area's unique cultural heritage by embracing historic style, albeit with modern construction techniques and expressions. The most notable styles in the area are Emanueline (Portuguese Baroque) and Neo-Spanish. These styles are characterized by simple massing, with clearly “additive” elements (such as arcades, terraces and towers) and deeply recessed openings.*

### Material and Methods of Construction



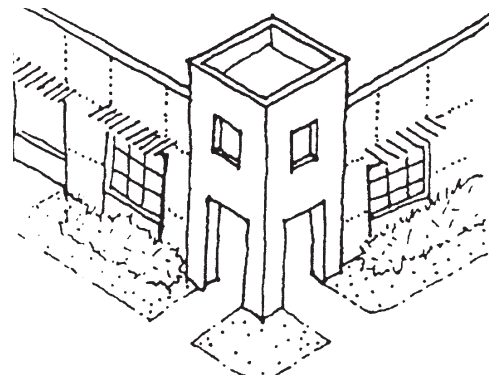
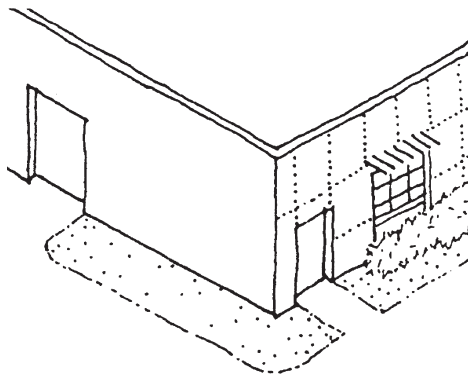
#### Building Appliques.

*Material changes shall occur at interior or reverse corners (a.), or as a “return” of at least 4’ from exterior corners. Material changes shall not occur at external corners, (b.).*

*a. Simulated Materials.* Materials and applications that are visibly simulated or prefabricated should be avoided. These include brick veneers that are not returned at corners, plywood scored to appear like boards (e.g. “T1-11”), or fake mullions that appear behind the glass.

*b. Proper Application.* Materials should be properly applied and correctly detailed to avoid cracking, gaping joints, staining, water damage, and disfigured features.

*c. Consistent Facades.* All sides of buildings that face streets, parks, or plazas should have the same level of architectural detail and windows.



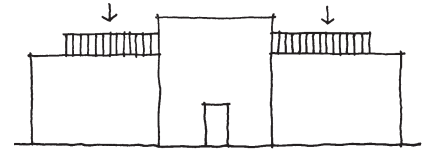
#### Consistent facades.

*All sides of buildings that face streets, parks, or other pedestrian-oriented areas should have the same level of architectural detail and fenestration (windows). Entries at corners should address both sides.*

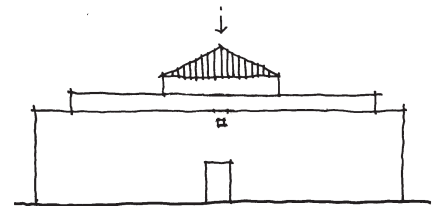
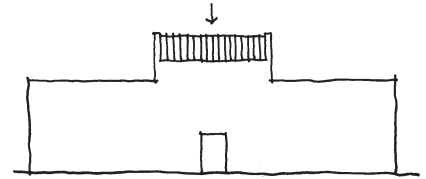


## Mechanical Equipment & Service Areas

*a. Rooftop Equipment.* Mechanical equipment should be integrated into the overall mass of a building by being recessed into roof hips and gables, or screened behind parapets.

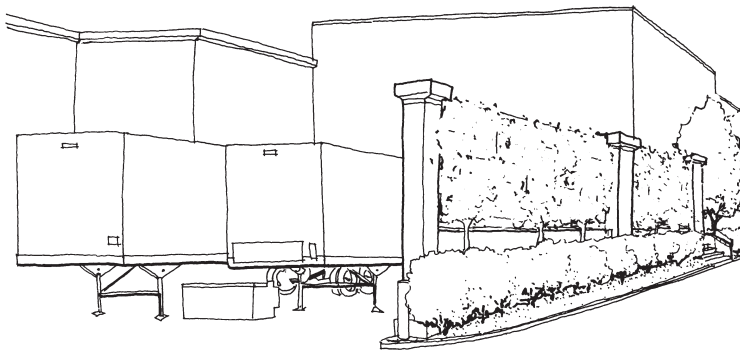


*b. Ground-level Equipment & Service Areas.* Areas for loading, storage, refuse collection, or mechanical equipment should be located away from streets and parks. They should be partially screened from streets by using short walls, trellises, and/or shrubs. At the same time, loading areas should be well lighted and easily observed.



### Rooftop Equipment.

*Mechanical equipment should be screened from view and integrated into the design and massing of the roof form.*



### Service Areas.

*Trash or loading areas should be screened from view with landscaping, walls or other structures.*

